

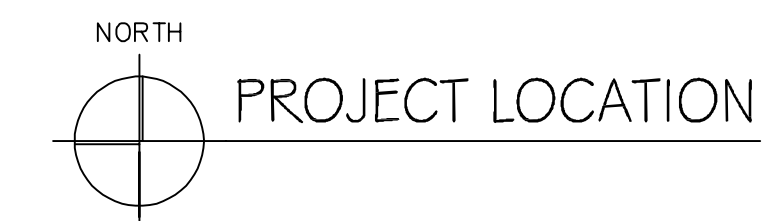
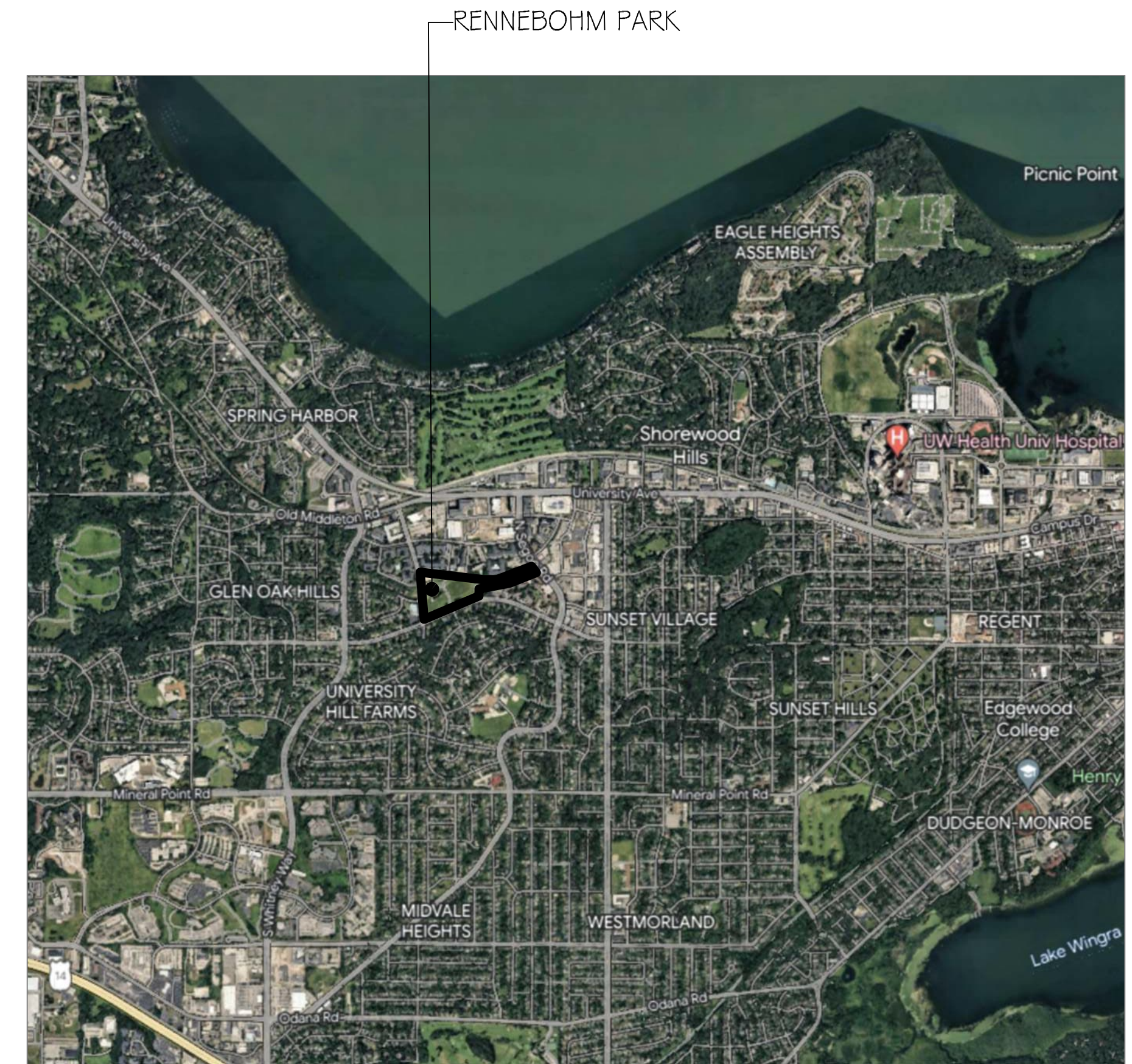
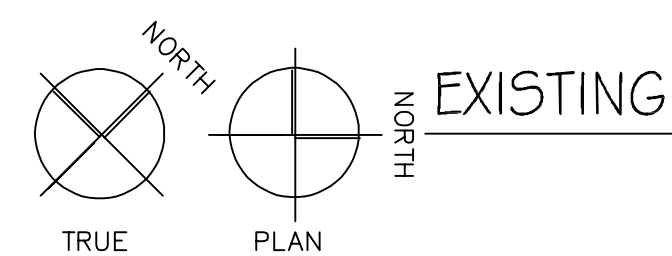
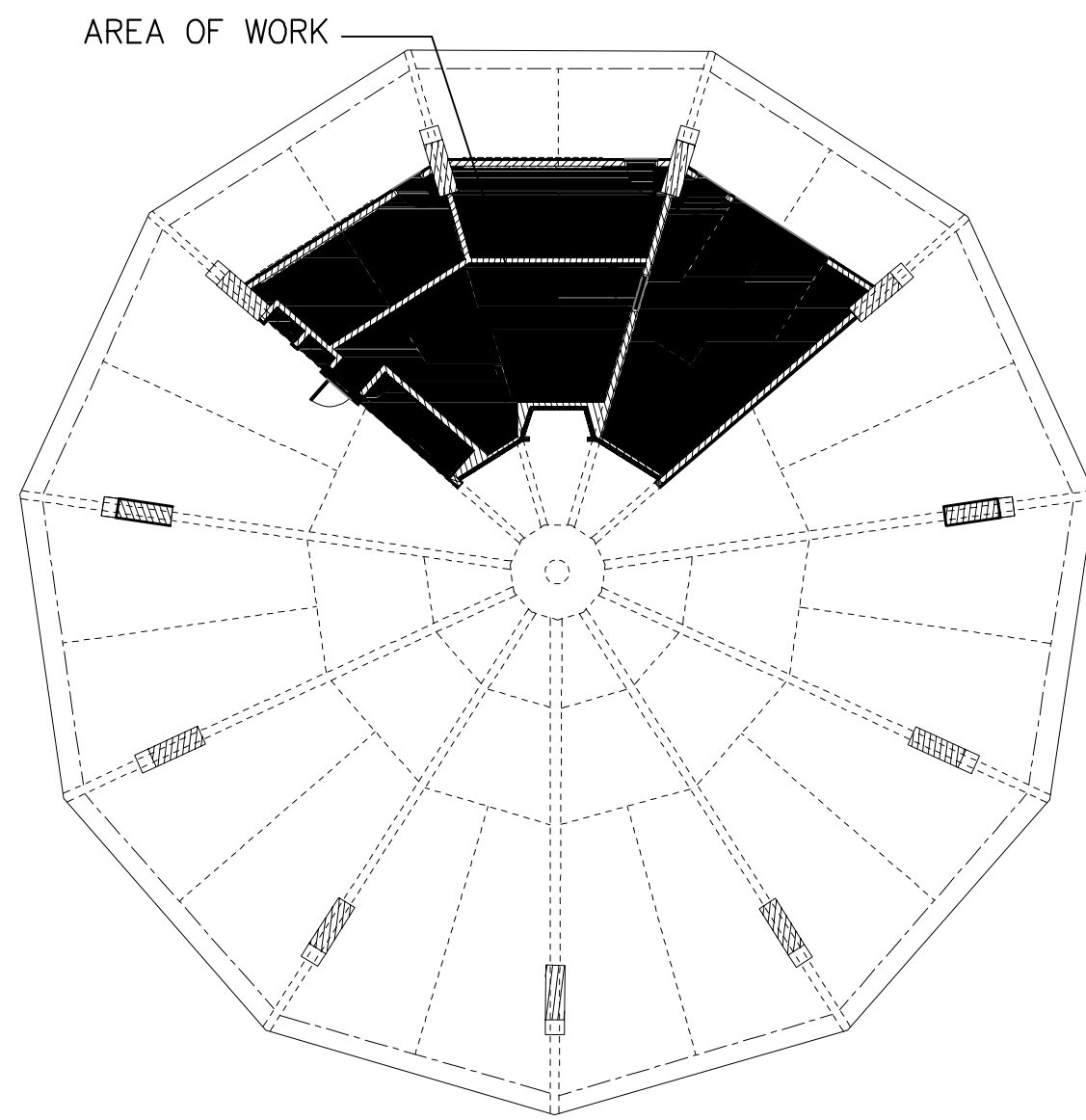


# RENNEBOHM PARK SHELTER RESTROOM RENOVATION

CONTRACT #9485

115 EAU CLAIRE AVE.  
MADISON, WI 53705

JANUARY 19, 2024



**GENERAL NOTES:**

- UNLESS SPECIFICALLY NOTED IN THE PLANS AND SPECIFICATIONS AS WORK OR MATERIALS BY OTHERS, THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITIES OF WORK AND MATERIALS FOR THIS CONTRACT.
- THE CONTRACTOR SHALL FURNISH ANY APPARATUS, APPLIANCE, MATERIAL, OR LABOR THAT MAY BE NECESSARY TO COMPLETE THE WORK, IN ACCORDANCE WITH THE INTENT OF THIS CONTRACT.
- THE CONTRACTOR SHALL USE PROPERLY FUNCTIONING EQUIPMENT CAPABLE OF PERFORMING THE TASKS REQUIRED.
- THE CONTRACTOR SHALL FURNISH WORKERS WHO PERFORM QUALITY WORK AND WHO ARE EXPERIENCED AND KNOWLEDGEABLE IN THE WORK PROPOSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL NEW AND EXISTING WORK, INCLUDING EXISTING WALKWAYS FROM THE DESIGNATED BUILDING ENTRANCE TO THE CONSTRUCTION AREA, WHICH SHALL REMAIN FREE OF DIRT, MUD, SNOW, SPILLS, SPLATTERS AND PHYSICAL DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE IMMEDIATE AREA AROUND THE PROJECT LIMITS AND ENTRY DOORS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. THE CONTRACTOR SHALL INSTALL TEMPORARY TARPING AS NEEDED TO KEEP ALL CONSTRUCTION DEBRIS CONFINED TO THE IMMEDIATE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEAN UP OF ALL AREAS AFFECTED BY THIS CONTRACT BEFORE FINAL CONTRACT CLOSEOUT.
- THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY DISCREPANCY IN THE PLANS OR SPECIFICATIONS. THIS SHALL INCLUDE BUT NOT BE LIMITED TO APPARENT ERRORS, OMISSIONS, AND INTERPRETATIONS INVOLVING CODES, REGULATIONS, AND STANDARDS.
- ANY CONTRACTOR WHO IDENTIFIES SUCH A DISCREPANCY DURING THE BIDDING PROCESS SHALL NOTIFY THE CITY PROJECT MANAGER OF THE DISCREPANCY.
- ANY CONTRACTOR WHO IDENTIFIES SUCH A DISCREPANCY AFTER THE BIDDING PROCESS AND/OR AFTER CONTRACT SIGNING SHALL IMMEDIATELY NOTIFY THE CITY PROJECT MANAGER IN WRITING AND REQUEST CLARIFICATION ON HOW TO PROCEED.
- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL AND STATE OF WISCONSIN BUILDING CODES LATEST EDITION.
- THE CITY OF MADISON BUILDING PERMIT WILL BE SECURED BY THE OWNER. THE CONTRACTOR SHALL BE REQUIRED TO APPLY FOR AND OBTAIN ALL PERMITS OR LICENSES THAT MAY BE REQUIRED BY THESE CONTRACT DOCUMENTS REGARDLESS OF ORDINANCE, STATUTE, OR OTHER REGULATORY REQUIREMENT.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INSPECTIONS RELATED TO ALL PERMITS AND LICENSES. RE-INSPECTION FEES ASSOCIATED WITH NON-COMPLAINT OR INCOMPLETE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING INFORMATION SHOWN ON DRAWINGS IS BASED ON RECORD DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF EXISTING INFORMATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

**LANDS FOR WORK:**

- NO TOBACCO PRODUCT USE IS ALLOWED ON THE PROPERTY.
- WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7:00 A.M. TO 5:00 P.M.

	Responsible for design for masonry walls, wall footings, and concrete slab.
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<b>PUBLIC IMPROVEMENT PROJECT APPROVED:</b> RES 80758 FILE ID 9485 DATE December 5, 2023 BY THE COMMON COUNCIL OF MADISON, WI	<b>PUBLIC IMPROVEMENT DESIGN APPROVED BY:</b> CITY ENGINEER <i>[Signature]</i> DATE 01/23/2024
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**VOLUME 1:  
ARCHITECTURAL**

**VOLUME 2:  
MECHANICAL  
ELECTRICAL  
PLUMBING**

**SHEET INDEX:**

TS1	TITLE SHEET
S1	SITE PLAN
EX1	EXISTING PLAN AND ELEVATION
D1	DEMOLITION PLAN
G1	GENERAL NOTES
A0	FOUNDATION PLAN
A1	RESTROOM FLOOR PLAN
A2	ROOF PLAN
A3	BUILDING ELEVATIONS AND DETAILS
A4	PROPOSED SOUTHWEST ELEVATION
A5	WALL SECTION
A6	BUILDING SECTION & WINDOW DETAILS
A7	BUILDING SECTION & INTERIOR ELEVATIONS

PD1	PLUMBING DEMOLITION PLAN
P1	WASTE AND VENT PLAN
P2	NON-POTABLE COLD WATER PLAN
P3	POTABLE WATER PLAN
P4	PLUMBING DETAILS
P5	SUPPLY RISER DIAGRAM
P6	WASTE & VENT RISER DIAGRAM
P7	PLUMBING SCHEDULE & NOTES
EP1	ELECTRICAL POWER PLAN, SCHEDULE & NOTES
EL1	ELECTRICAL LIGHTING PLAN, SCHEDULE & NOTES
H1	HVAC PLAN, SCHEDULE & NOTES

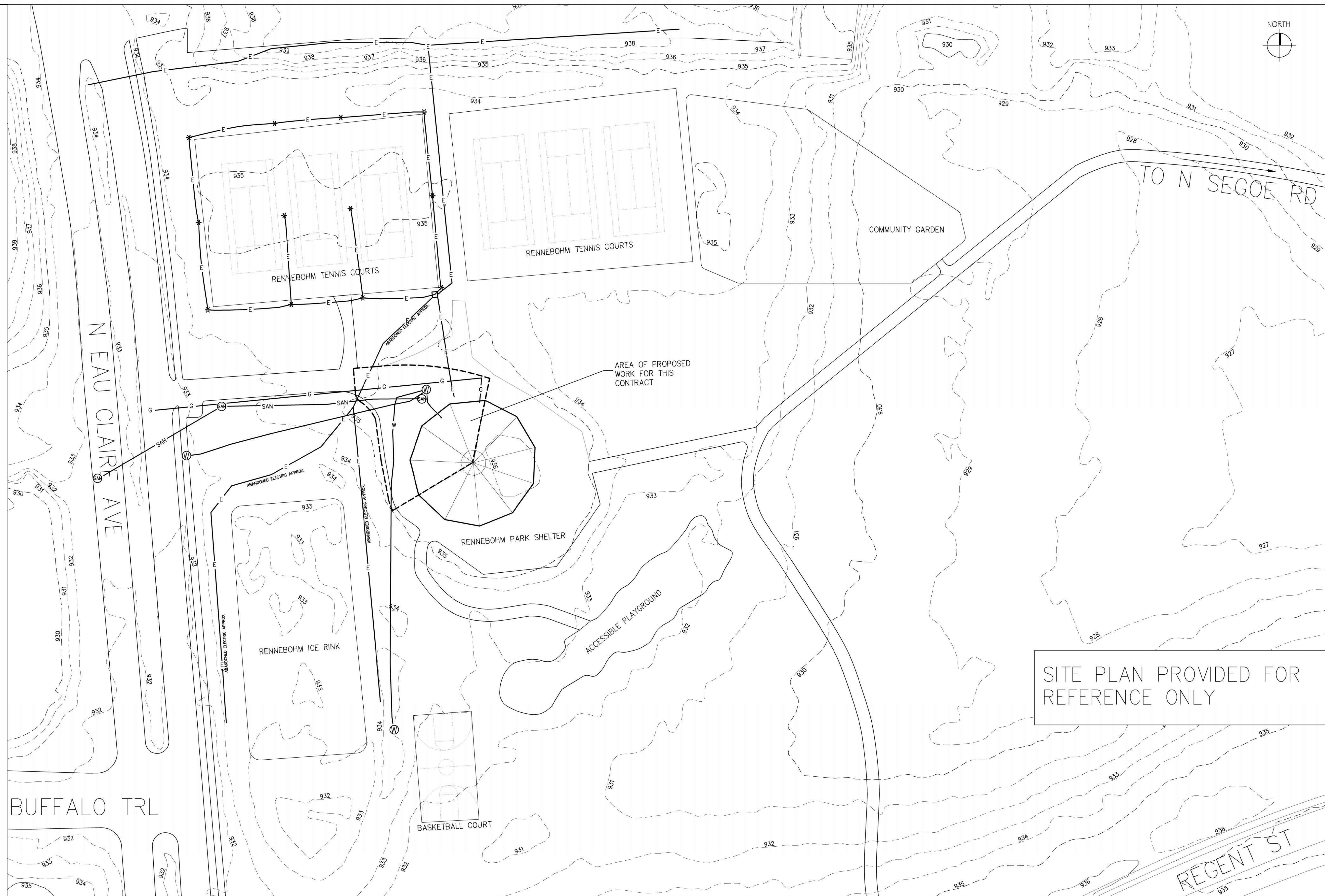


CITY OF MADISON  
DEPT OF PUBLIC WORKS  
ENGINEERING DIVISION  
CITY COUNTY BLDG. RM. 115  
210 MARTIN LUTHER KING JR. BLVD  
MADISON, WI 53703  
PHONE: 608-266-4751

RENNEBOHM PARK SHELTER RESTROOM RENOVATION  
115 EAU CLAIRE AVE.  
MADISON, WI 53705

CONTRACT #9485  
MUNIS #14525  
DRWN BY: JPE  
DATE 01/19/2024  
REV: XX/XX/XX

SHT TS1



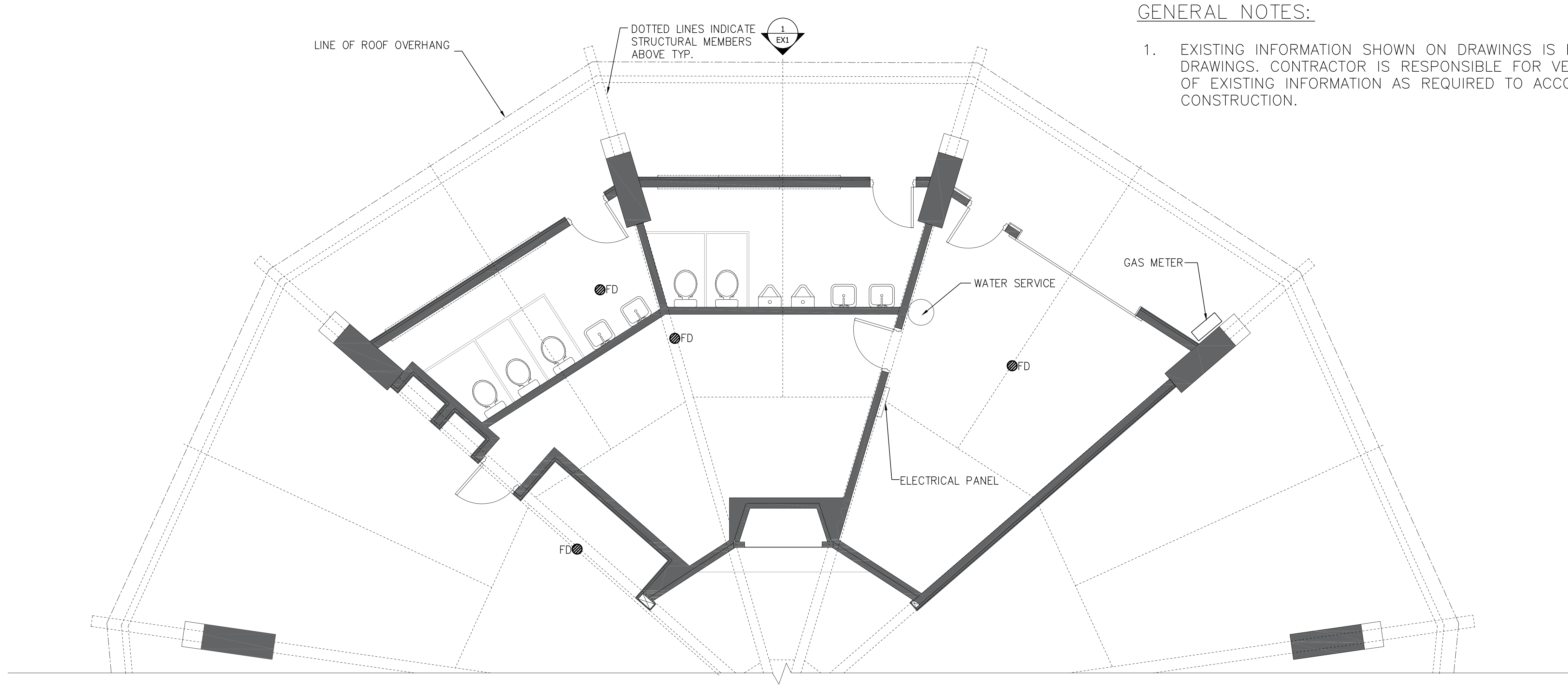
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RENNEBOHM PARK SHELTER RESTROOM RENOVATION

SITE PLAN PROVIDED FOR REFERENCE ONLY

SITE PLAN  
 SCALE: 1/32" = 1'-0"

CONTRACT	#9485
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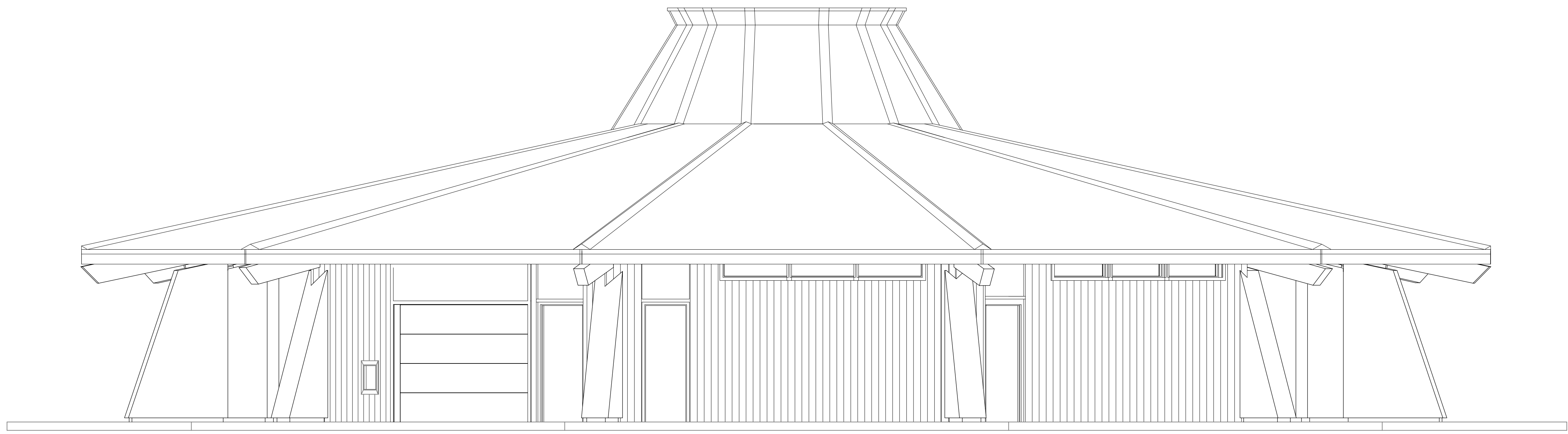
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NORTH

EXISTING FACILITY PLAN

SCALE: 1/4" = 1'-0"



1 EX1

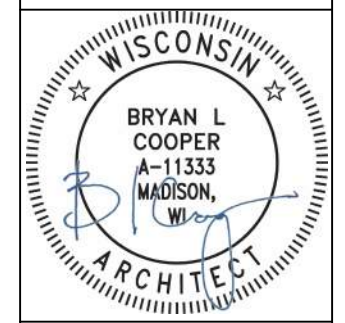
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



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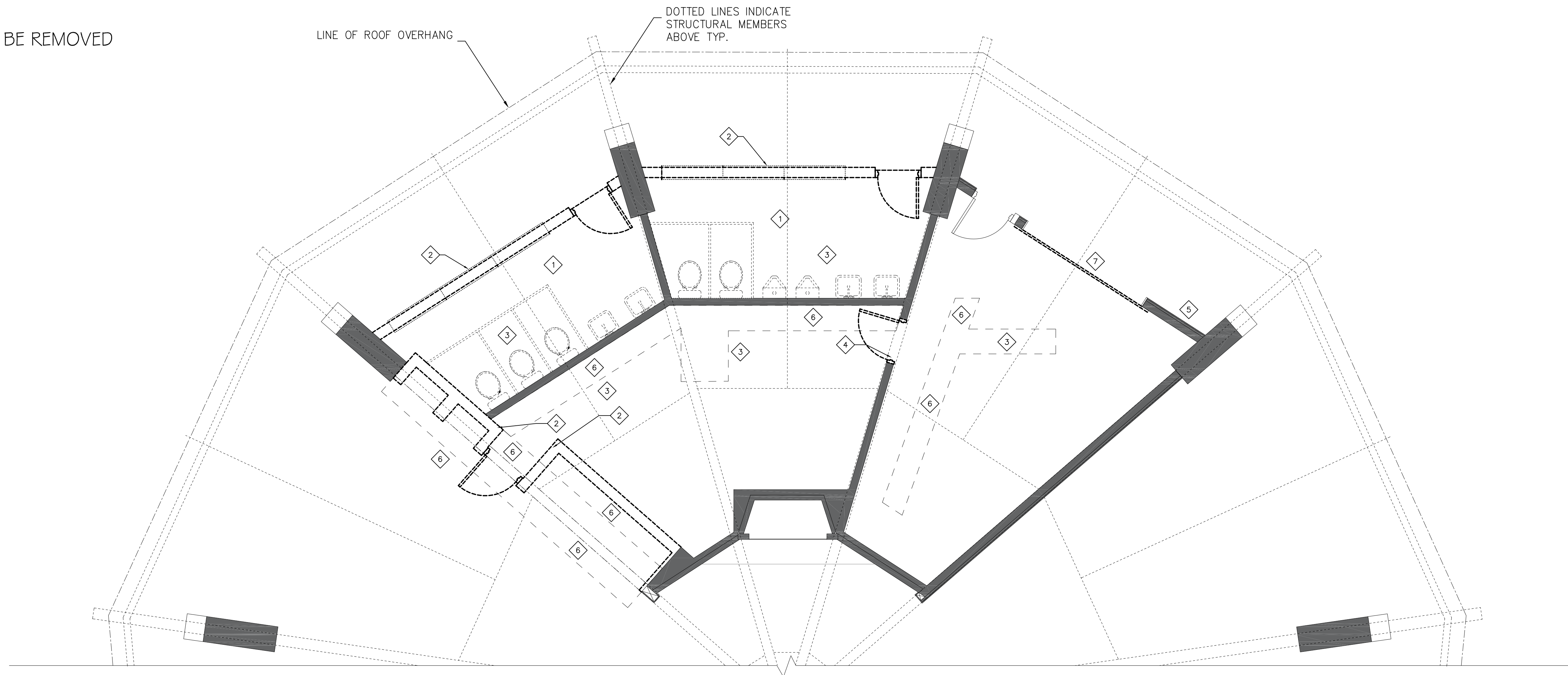
RENNEBOHM PARK SHELTER RESTROOM RENOVATION



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SHT  
 EX1

- EXISTING WALL TO REMAIN
- EXISTING ELEMENT TO BE REMOVED
- EXISTING SLAB TO BE REMOVED



NORTH  
**DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. EXISTING INFORMATION SHOWN ON DRAWINGS IS BASED ON RECORD DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF EXISTING INFORMATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. SEE SHEETS PD1, EP1, EL1, H1 FOR MORE DETAILED DEMO INFORMATION

KEYNOTES

- 1 DEMO EXISTING SLAB WITHIN FOOTPRINT OF RESTROOM AND PREPARE SUBGRADE FOR NEW SLAB ON GRADE
- 2 DEMO EXISTING MASONRY WALLS DOWN TO TOP OF FOUNDATION WALL OR TRENCH FOOTING. REMOVE NOTED DOORS, DOOR FRAMES AND WINDOWS.
- 3 REMOVE MECHANICAL/ELECTRICAL/PLUMBING. SEE MEP SHEETS FOR ADDITIONAL INFO.
- 4 REMOVE DOOR AND DOOR FRAME. EXISTING ADJACENT WALL TO REMAIN.
- 5 REMOVE EXISTING WALL OPENING. SALVAGE DOOR, HARDWARE, AND FRAME FOR REINSTALLATION
- 6 DEMO EXISTING SLAB IN AREAS INDICATED. SEE SHEET PD1 FOR PLUMBING DEMO AND SHEET A0 FOR STRUCTURAL DEMO AND COORDINATE ACCORDINGLY.
- 7 REMOVE EXISTING OVERHEAD DOOR AND TRACK. SALVAGE LOCKING HARDWARE FOR REINSTALLATION.



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SHT  
D1

**CONCRETE**

1. CONCRETE SHALL CONFORM WITH ARTICLE 301 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. LAP WELDED WIRE MESH 6"; LAP STEEL BARS 18";
3. SLAB FINISH TO BE TROWELED.
4. PROPER CURING PROCEDURES SHALL BE USED FOR SLAB ON GRADE TO PREVENT CURLING.
5. CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.

**CONCRETE MASONRY**

1. CONCRETE BLOCK SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90 AND SHALL MATCH THE EXISTING BLOCK COLOR AND TEXTURE. CONCRETE BLOCK OVER DOOR OPENINGS SHALL BE CONSTRUCTED OF LINTEL BLOCK FILLED WITH GROUT.
2. MORTAR SHALL BE TYPE 5 PORTLAND CEMENT-LIME MORTAR OR MASONRY CEMENT MORTAR WITH PROPORTION RESTRICTIONS AS STATED IN THE WISCONSIN COMMERCIAL BUILDING CODE. PROVIDE INTEGRAL WATERPROOFING COMPOUND IN MORTAR FOR ALL EXTERIOR MASONRY MORTAR.
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II. HYDRATED LIME SHALL CONFORM TO ASTM C207, TYPE S. MASONRY CEMENT SHALL CONFORM TO ASTM C91
4. INTEGRAL WATERPROOFING COMPOUND SHALL BE DRY-BLOCK BY W.R. GRACE CO OR EQUAL
5. GROUT SHALL CONFORM TO ASTM C476- "MORTAR AND GROUT FOR REINFORCED MASONRY." GROUT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI
6. WALL REINFORCEMENT SHALL BE 220 LADDER-MESH MANUFACTURED BY HOHMANN & BARNARD, INC., LADDER WIRE, MANUFACTURED BY WIRE-BOND, OR EQUAL. WALL REINFORCEMENT SHALL BE HOT-DIP GALVANIZED WITH A MINIMUM 1.50 OUNCE/SQUARE FOOT ZINC COATING IN ACCORDANCE WITH ASTM A153 CLASS B. PREFABRICATED CORNER AND TEE SECTIONS SHALL BE USED TO PROVIDE CONTINUOUS REINFORCEMENT AROUND CORNERS. INSTALL JOINT REINFORCEMENT IN THE FIRST TWO MORTAR JOINTS AND AT 16-INCH VERTICAL SPACING ABOVE THE SECOND JOINT. LAP 6 INCHES MIN AT SPLICES.
7. ALL MASONRY SHALL BE LAID PLUMB AND TRUE TO LINES. ALIGN NEW BLOCK COURSING WITH EXISTING BLOCK COURSING AND ADJUST MORTAR JOINT WIDTH TO ACCOMMODATE. MORTAR BEDS SHALL BE SPREAD SMOOTH OR SLIGHTLY FURROWED. WHERE CUTTING OF EXPOSED MASONRY IS NECESSARY, THE CUTS SHALL BE MADE STRAIGHT AND TRUE.
8. MORTAR JOINTS SHALL BE COMPLETELY FILLED. JOINTS SHALL BE TOOLED TO MATCH EXISTING MORTAR JOINTS.
9. BED THE ANCHORS OF METAL DOOR FRAMES IN ADJACENT MORTAR JOINTS. GROUT STEEL DOOR FRAMES FULL.
10. WHERE NEW MASONRY JOINS EXISTING OR PARTIALLY SET MASONRY, THE EXPOSED SURFACE OF EXISTING MASONRY SHALL BE CLEANED AND LIGHTLY WETTED TO OBTAIN THE BEST POSSIBLE BOND WITH THE NEW MASONRY. ALL LOOSE MORTAR SHALL BE REMOVED.
11. MASONRY FACES THAT WILL REMAIN EXPOSED SHALL BE WIPED WITH A DAMP CLOTH AS THE WORK PROGRESSES AND THOROUGHLY CLEANED AND POINTED UPON COMPLETION.
12. NEW MASONRY WALLS SHALL BE 6" HORIZONTALLY STACKED BOND CMU TO MATCH EXISTING
13. PROVIDE #4 BARS AT 48" VERTICAL BAR REINFORCING IN FULLY GROUTED CORES IN NEW CMU WALLS. LOCATE VERTICAL REINFORCING AT CORNERS, AT EACH SIDE OF MASONRY CONTROL JOINTS, AND AT EACH SIDE OF WALL OPENINGS. LAP 1'-4" WITH FOUNDATION DOWELS AT BASE OF WALL AND EXTEND 6" INTO BOND BEAM AT TOP OF WALL.
14. PROVIDE #4 ADHESIVE ANCHORED DOWELS WITH 8" EMBEDMENT AT BASE OF CMU WALL SPACED AT 48" O.C. MAXIMUM AND AT ALL LOCATIONS WHERE VERTICAL BARS ARE LOCATED.
15. PROVIDE MASONRY BOND BEAMS AT TOP OF WALL AND OVER ALL MASONRY OPENINGS. REINFORCE WITH 2 #4 BARS AND PROVIDE 8" BEARING LENGTH AT EACH END.
16. MASONRY ASSEMBLY STRENGTH SHALL BE 2,500 PSI.  
 $f_{cmu}$  SHALL BE 3,750 PSI OR GREATER  
 $f_{grout}$  SHALL BE 2,500 PSI OR GREATER  
 MORTAR SHALL BE TYPE 5
17. WHERE EXTERIOR CMU WALL CORES ARE NOT GROUTED FULL, PROVIDE TWO-COMPONENT FOAMED-IN-PLACE MASONRY THERMAL INSULATION IN CORES OF HOLLOW CELLS.
18. GROUT FOR FILLING OF SLAB RECESSES SHALL BE NON-SHRINK, NON-METALLIC, AND SHALL ACHIEVE A STRENGTH OF 7,500 PSI IN 28 DAYS.
19. AT LOCATIONS WHERE NEW CMU WALLS ARE LOCATED BELOW LOAD BEARING ROOF MEMBERS PROVIDE ½" EXPANSION MATERIAL AT TOP OF WALL AND CAULK BOTH SIDES.

**DOOR/DOOR HARDWARE**

1. HOLLOW METAL DOORS: BASIS OF DESIGN: CURRIES SERIES 707 16 GA W/POLYSTYRENE CORE. STEEL TOP & BTM FILLER CAPS; FACTORY PRIMED, FINISH TO MATCH EXISTING
2. HOLLOW METAL FRAMES WITH AND WITHOUT TRANSOMS AND INSULATED METAL PANELS: BASIS OF DESIGN: CURRIES; 16 GA GALVANIZED CONTINUOUS WELD FACE SEAM. GRIND & FINISH SMOOTH; SILENCERS (3) ON STRIKE JAMB; FACTORY PRIMED, FINISH TO MATCH EXISTING. PREPARE FRAME FOR ELECTRIC STRIKE AND TIME CLOCK CONTROL.
3. MOUNT HARDWARE IN LOCATIONS RECOMMENDED BY THE DOOR AND HARDWARE INSTITUTE UNLESS OTHERWISE INDICATED.
4. EXIT DEVICE AT RESTROOMS: STOREROOM FUNCTION WITH DEADBOLT BASIS OF DESIGN: SCHLAGE L9480 LV9480, LEVER HANDLE O6 AND ROSETTE TYPE A, L-SERIES MORTISE LOCK.
5. EXIT DEVICE AT WARMING ROOM: BASIS OF DESIGN: VON DUPRIN PUSH BAR 98/99
6. ELECTRIC STRIKE BODY AT ALL PERSON DOORS INCLUDING EXISTING EXTERIOR DOOR AT UTILITY: BASIS OF DESIGN: ASSA ABLOY 1006 COMPATIBLE W/ EXIT DEVICES; 24 VOLT TRANSFORMER AND ALL NECESSARY CONDUIT AND WIRING BACK TO TIME CLOCK. CONTROL PANEL IN MECHANICAL ROOM FOR COMPLETE SYSTEM.
7. DEADLOCKS: CYLINDERS W/ 6 PIN TUMBLER; KEY LOCKS TO OWNER'S MASTER KEY SYSTEM.
8. ELECTRIC STRIKE POWER SUPPLY: BASIS OF DESIGN: ALTRONIX COMPATIBLE WITH ELECTRIC STRIKE BODY.
9. PULL PLATE AND HANDLE AT WARMING ROOM: BASIS OF DESIGN: IVES: STAINLESS STEEL PULL PLATE 8302 W/ 8102 STAINLESS STEEL PULL 10" CENTERS.
10. KICK PLATE: BASIS OF DESIGN: IVES: STAINLESS STEEL 8400 SERIES 10" HIGH ON PUSH SIDE.
11. CLOSER: BASIS OF DESIGN: LCN MODEL 4040XP W/ CUSH-N-STOP FEATURE; MOUNT ON PUSH SIDE OF DOOR (PARALLEL ARM MOUNT) FINISH: PAINTED ALUMINUM; ADJUSTABLE DELAYED OPENING (ACCESSIBLE TO PEOPLE W/ DISABILITIES) FEATURE.
12. SADDLE THRESHOLD: BASIS OF DESIGN: REESE #212555 STAINLESS STEEL. ½X5" PROFILE
13. DOOR SWEEP: BASIS OF DESIGN: REESE #701 C CLEAR ANODIZED ALUMINUM W/POLYURETHANE.
14. WEATHER-STRIP: BASIS OF DESIGN: REESE 775 C CLEAR ANODIZED ALUMINUM W/ POLYURETHANE INSERT.
15. HINGES - (3) BALL BEARING HINGES; STAINLESS STEEL W/ STAINLESS STEEL NON-REMOVABLE HINGE PINS.
16. OVERHEAD GARAGE DOOR: BASE OF DESIGN: OVERHEAD DOOR COMPANY INSULATED SECTIONAL STEEL-BACK DOOR MODEL 470, 4 FLAT SLAB PANELS WITHOUT WINDOWS AND LOW CLEARANCE TRACK. FINISH TO MATCH EXISTING. HARDWARE SIMILAR APPEARANCE AND FUNCTION TO EXISTING.

**WINDOW**

1. CUSTOM FIXED WOOD SASH AND FRAMES AS SHOWN IN DRAWINGS. CONSTRUCT USING WOOD SPECIES TO MATCH EXISTING. ALL SURFACES OF WOOD COMPONENTS TO BE BACK PRIMED BEFORE INSTALLATION. SEE WINDOW DETAILS (1.A6).
2. GLASS: DOUBLE PANE INSULATED LAMINATED TEMPERED UNITS. EACH PANE ½" THICK WITH PRIVACY FILM APPLIED TO INTERIOR SURFACE.
3. PRIVACY FILM: 3M FASARA IN NATURAL/WASHI VEGA SH2FHVG APPLIED TO INTERIOR GLASS SURFACE

**SIDING**

1. PREFERENCE TO REMOVE AND SALVAGE EXISTING SIDING FOR REINSTALLATION AS POSSIBLE.
2. CUSTOM VERTICAL SIDING: NEW MATERIAL ROUGH SAWN CEDAR IN GRADE AND PROFILE TO MATCH EXISTING. SEE 3/A3 FOR PROFILE.
3. BACK PRIME ALL SURFACES OF NEW MATERIAL BEFORE INSTALLATION.

**FINISHES**

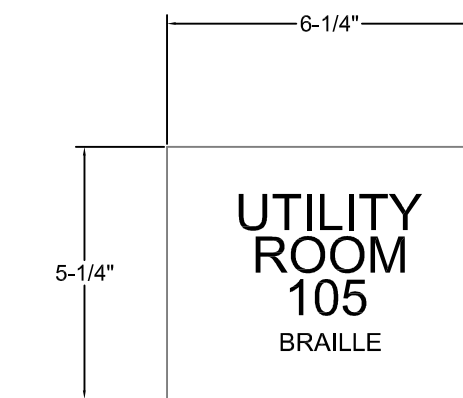
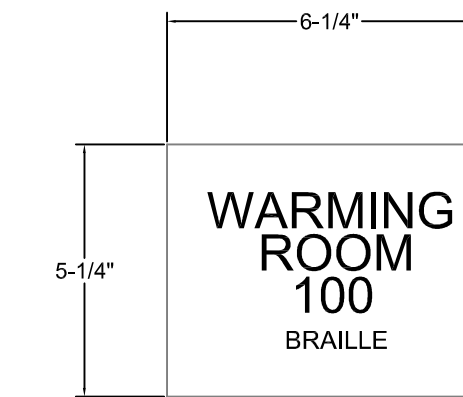
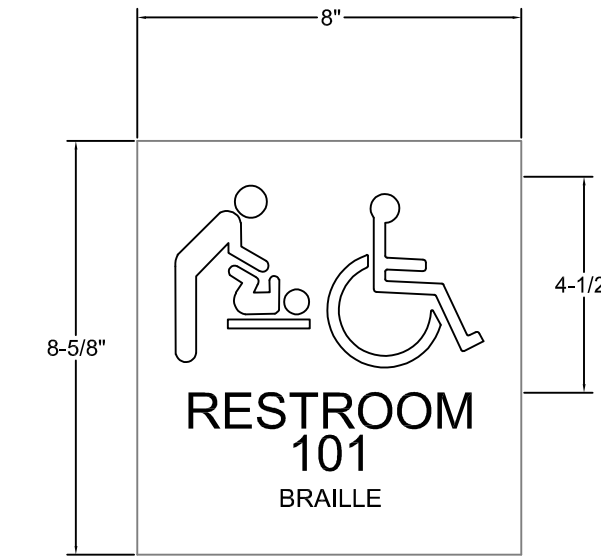
1. FLOOR IN RESTROOMS TO BE 100% EPOXY FLOORING SYSTEM, MEDIUM TO HEAVY DUTY, MIN ½" BASE OVERALL THICKNESS W/ INTEGRAL 6" COVE BASE, SLIP RESISTANT, AGGREGATE FILLED. STRICTLY COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR TESTING OF MOISTURE CONTENT. APPROVED MANUFACTURER: DUR-A-FLEX ACCELEA-HQ; COLOR Q28-35 WARRANTY: 3 YEARS FROM DATE OF INSTALL;
2. SEALED CONCRETE FLOOR IN UTILITY ROOM AND WARMING ROOM
3. RESTROOM CMU WALLS TO BE SEALED: INTERIOR/EXTERIOR LATEX BLOCK FILLER. APPROVED MANUFACTURER: SHERWIN WILLIAMS PREPRITE B25W00025 IN WHITE
4. BACK PRIME ALL NEW OR UNFINISHED WOOD ELEMENTS.
5. FINAL PAINTING TO BE COMPLETED BY PARKS

**RESTROOM ACCESSORIES**

1. ADA ONLY: GRAB BARS: 1 ½" OUTSIDE DIAMETER 1.3MM STAINLESS STEEL FOR HEAVY DUTY APPLICATIONS. CONCEALED MOUNTING; SMOOTH SATIN FINISH GRIPPING SURFACE;
2. TOILET TISSUE DISPENSER: ROYCE ROLLS RINGER CO. MODEL #5TP-2; DOUBLE ROLL DISPENSER W/ PADDLE LOCK FEATURE; 18 GA STAINLESS STEEL; CONCEALED MOUNTING; LOCK BY OWNER
3. SANITARY NAPKIN DISPOSAL UNIT: ROYCE ROLLS RINGER CO. MODEL #5NR; STAINLESS STEEL #4 FINISH (SATIN); SELF CLOSING COVER;
4. MIRROR: BRADLEY BRIGHT ANNEALED 20 GA STAINLESS STEEL SET IN TAMPER PROOF STAINLESS STEEL FRAME W/ CONCEALED MOUNTING - 24"X42"
5. LIQUID SOAP DISPENSER: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
6. WARM-AIR DRYER: EXCEL MODEL HO-1 W/ SURFACE MOUNTED; ELECTRONIC SENSOR ACTIVATED; STEEL W/ WHITE EPOXY FINISH;
7. BABY CHANGING STATION: BASIS OF DESIGN: KOALA KARE KB300; COLOR: BEIGE; WALL MOUNTED W/GAS SPRING MECHANISM; MOUNT WITH HANDLE NO HIGHER THAN 48" ABOVE F.F. AND THE WORK SURFACE LOCATED 28" TO 33" ABOVE F.F.
8. HAND TOWEL DISPENSER: SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
9. BOTTLE FILL/WATER FOUNTAIN: ELKAY OUTDOOR BOTTLE FILLING STATION WALL MOUNT, MODEL LK4408BF SUPPLIED AND INSTALLED BY OWNER. POWER, PLUMBING, WALL BLOCKING AND WALL CONSTRUCTION SUPPLIED BY CONTRACTOR.
10. INSTALL INSULATION AT LAVATORY PIPING AND TRAPS TO COMPLY WITH ADA REQUIREMENTS.

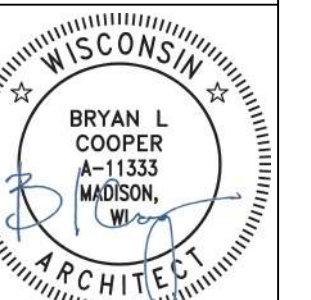
**SIGNAGE**

1. ACRYLIC MATTE FINISH
2. LETTERS TO BE WHITE ¾" ARIAL FONT
3. GRAPHICS TO BE APPROX. 4" HIGH
4. BRAILLE UNDER LETTERS TO COMPLY WITH ADA REGULATIONS
5. COLOR: DARK BROWN
6. FASTEN TO WALL USING NON-REMOVABLE STAINLESS STEEL FASTENERS THROUGH PREDRILLED HOLES.
7. (G) SIGNS: WARMING ROOM 100, RESTROOM 101, RESTROOM 102, RESTROOM 103, RESETRROOM 104, UTILITY ROOM 105. SEE SIGNAGE LAYOUTS FOR GRAPHICS AND DIMENSIONS.
8. MOUNT WARMING ROOM AND RESTROOM SIGNS TO SIDING 9" OFF DOOR FRAME ON LATCH SIDE SO THAT THE BOTTOM OF THE LETTERS IS 60" MAX. ABOVE FINISH FLOOR.
9. MOUNT UTILITY ROOM SIGN TO FACE OF DOOR AT THE CENTER OF THE DOOR SO THAT THE BOTTOM OF THE LETTERS IS 60" MAX. ABOVE FINISH FLOOR.



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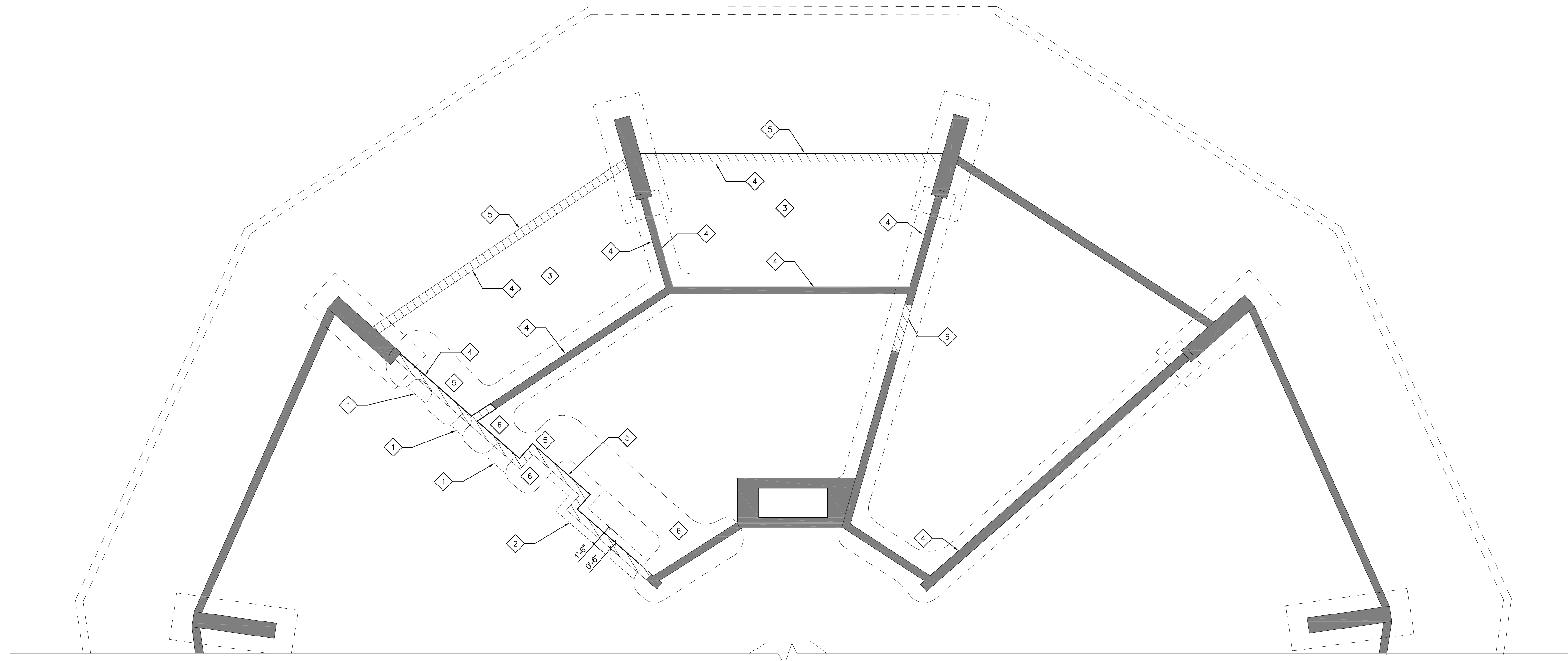
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SHT

G1

- EXISTING WALL TO REMAIN
- EXISTING FOOTING/WALL TO REMAIN
- PROPOSED WALL ON EXISTING OR NEW FOOTING



NORTH
**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. EXISTING INFORMATION SHOWN ON DRAWINGS IS BASED ON RECORD DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF EXISTING INFORMATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. A GEOTECHNICAL ENGINEER SHALL OBSERVE AND APPROVE THE SUBGRADE BELOW NEW CONCRETE SLABS ON GRADE AND TRENCH FOOTINGS AND VERIFY THAT SOILS ARE ADEQUATE TO SUPPORT NEW LOADS PRIOR TO CONSTRUCTION
3. SLOPE NEW CONCRETE SLABS IN RESTROOM AREA TO EXISTING FLOOR DRAINS TO ACHIEVE POSITIVE DRAINAGE
4. DIMENSIONS FROM MASONRY UNLESS NOTED OTHERWISE.

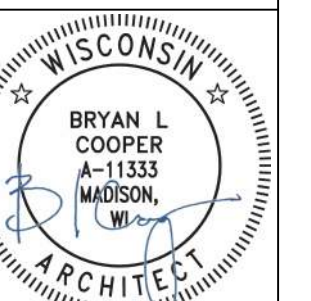
KEYNOTES

- |  |  |
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| <p>1 PROVIDE NEW TRENCH FOOTING AS REQUIRED BELOW NEW CMU WALL. FOOTING SHALL EXTEND MIN. 6" BEYOND EDGE OF WALL, EACH SIDE. PROVIDE 2-#5 LONGITUDINAL BARS AND DOWEL BARS INTO EXISTING TRENCH FOOTINGS WITH MINIMUM 8" EMBEDMENT. TOP OF FOOTING ELEVATION SHALL MATCH ADJACENT TRENCH FOOTING.</p> <p>2 1'-6" WIDE BY 1'-0" THICK TRENCH FOOTING CENTERED BELOW NEW CMU WALL. COORDINATE LOCATION OF WALL WITH ARCHITECTURAL DRAWINGS. PROVIDE 2-#5 LONGITUDINAL BARS AND #5 TRANSVERSE BARS @ 12" O.C. DOWEL LONGITUDINAL BARS INTO EXISTING TRENCH FOOTINGS WITH MINIMUM 8" EMBEDMENT. TOP OF FOOTING ELEVATION SHALL MATCH ADJACENT TRENCH FOOTING.</p> <p>3 NEW 5" CONCRETE SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 2" RIGID INSUL ON COMPACTED CLEAN GRANULAR FILL. SLAB SHALL BE REINFORCED WITH 6X6-W2.9XW2.9 WELDED WIRE FABRIC, OR FIBROUS REINFORCING AT A RATE OF 1.5-3.0 LBS/YD<sup>3</sup></p> | <p>4 PROVIDE 1/2" EXPANSION MATERIAL BETWEEN EDGE OF NEW SLAB AND CMU WALL. HOLD DOWN 1/2" AND CAULK. TYPICAL AT 4 EDGES OF NEW SLAB IN EACH AREA.</p> <p>5 PREPARE NEW AND EXISTING TRENCH FOOTINGS FOR NEW MASONRY WALLS BY ENSURING SURFACE OF FOOTING IS SMOOTH, LEVEL, AND MATCHES TOP OF EXISTING/ADJACENT FOOTING ELEVATION. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF NEW CMU WALLS.</p> |
|--|--|



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RENNEBOHM PARK SHELTER RESTROOM RENOVATION



CONTRACT #9485  
 MUNIS #14525  
 DRWN BY: JPE  
 DATE 01/19/2024  
 REV: XX/XX/XX

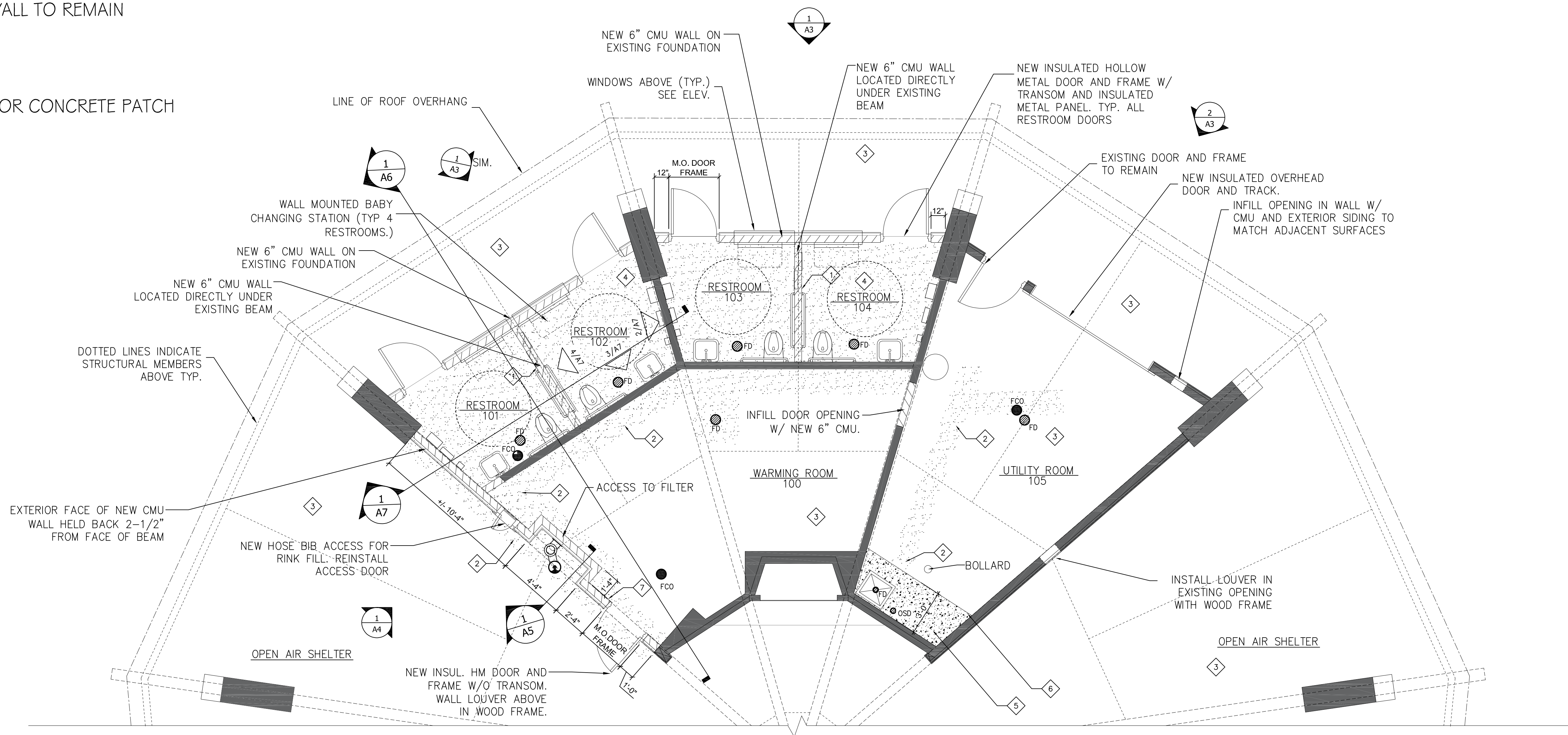
SHT  
A0



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RENNEBOHM PARK SHELTER RESTROOM RENOVATION

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW SLAB OR CONCRETE PATCH



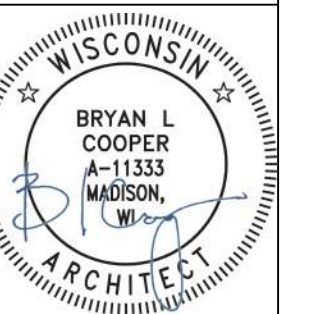
NORTH  
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

1. SEE G1 FOR GENERAL NOTES RELATED TO CONCRETE AND CONCRETE BLOCK CONSTRUCTION.
2. EXISTING INFORMATION SHOWN ON DRAWINGS IS BASED ON RECORD DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF EXISTING INFORMATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
3. DIMENSIONS FROM MASONRY UNLESS NOTED OTHERWISE.

**KEY NOTES:**

- NEW INTERIOR RESTROOM CMU SHALL BEAR ON NEW CONCRETE SLAB ON GRADE. DOWEL VERTICAL REINFORCING INTO SLAB AS STATED IN GENERAL NOTE 13 ON SHEET G1
- REPLACE EXISTING SLAB IN AREA INDICATED. REFER TO DRAWING A0 FOR SLAB REQUIREMENTS
- EXISTING SLAB TO REMAIN
- NEW 5" CONCRETE SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 2" RIGID INSUL ON COMPACTED CLEAN GRANULAR FILL, SEE FOUNDATION PLAN - SHEET A0 AND G1 GENERAL NOTES.
- RAISED CONCRETE EQUIPMENT PAD. PAD SHALL BE RAISED 4" ABOVE ADJACENT SLAB. PROVIDE A SINGLE MAT OF 6X6 - W2.9XW2.9 WELD WIRE FABRIC, CENTERED IN THE PAD.
- ROUGHEN 6" PERIMETER OF EXISTING CONCRETE SLAB TO 1/4" AMPLITUDE AND APPLY BONDING AGENT TO FLOOR PRIOR TO PLACING NEW EQUIPMENT PAD.
- NEW 6" CMU WALL ON NEW AND EXISTING TRENCH FOOTING. WHERE WALL IS LOCATED BELOW WOOD ROOF BEAM, LATERALLY ANCHOR TOP OF WALL TO BEAM AS SHOWN IN SECTION 1/A5



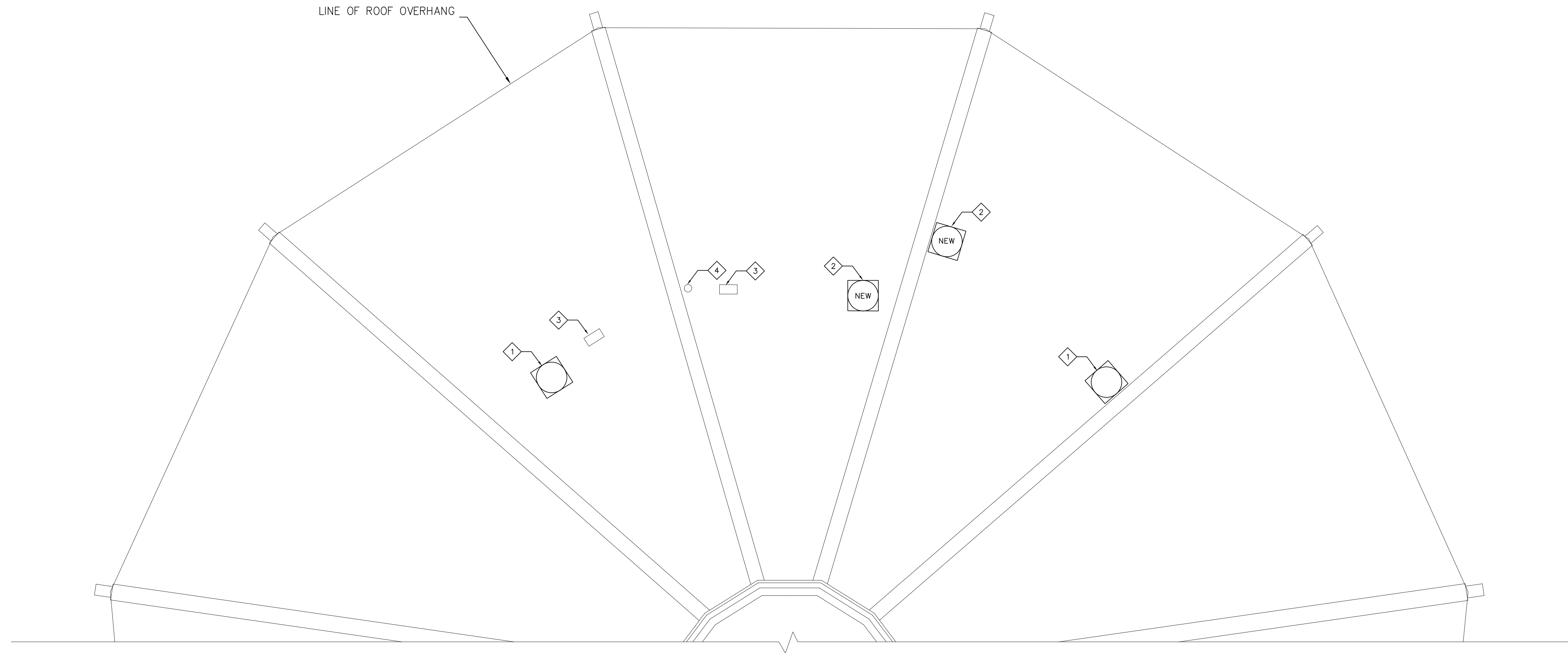
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A1



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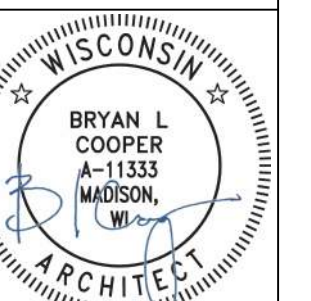
 NORTH  
**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. EXISTING INFORMATION SHOWN ON DRAWINGS IS BASED ON RECORD DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF EXISTING INFORMATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. EXISTING STANDING SEAM METAL ROOF TO REMAIN.
3. SUB-CONTRACTORS SHALL COORDINATE NEW ROOF PENETRATION LOCATIONS.

KEY NOTES:

- 1 EXISTING CONCENTRIC ROOF VENT TO REMAIN.
- 2 NEW CONCENTRIC ROOF VENT TO MATCH EXSITING CONCENTRIC ROOF VENTS IN SIZE AND APPEARANCE.
- 3 REMOVE EXISTING FAN VENT AND LEAVE EXISTING BOOT IN PLACE. INSTALL NEW LOW PROFILE TOP CAP ON EXISTING BOOT FOR WATER TIGHTNESS IN BROWN COLOR TO MATCH EXISTING.
- 4 EXISTING PLUMBING VENT THRU ROOF TO REMAIN.



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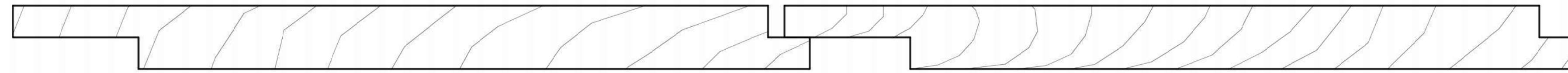
A2



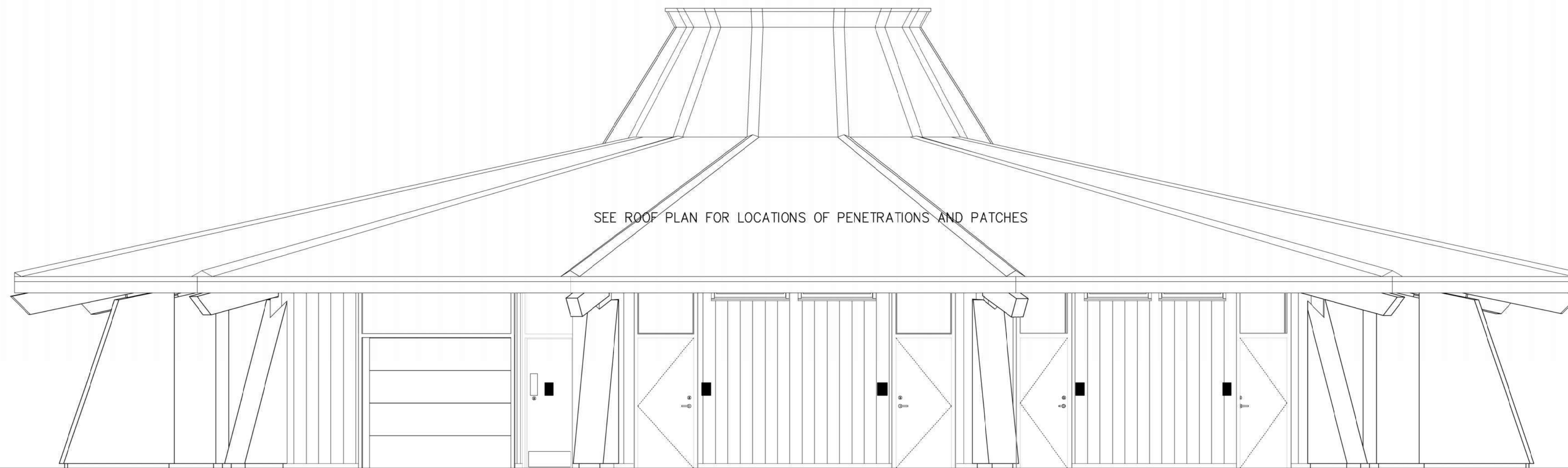


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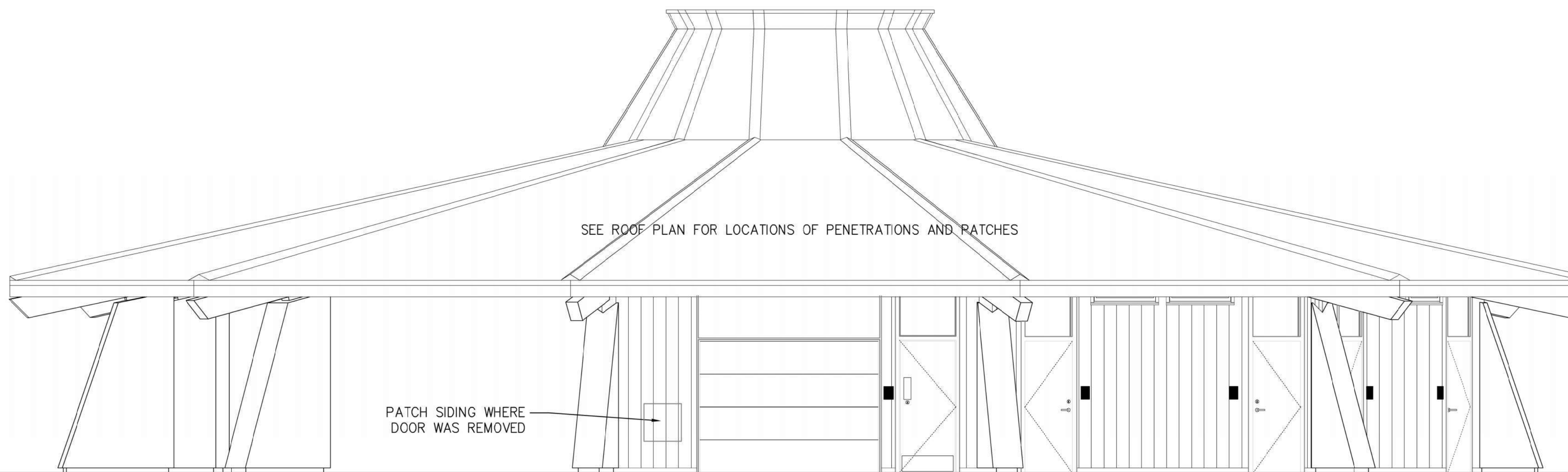
RENNEBOHM PARK SHELTER RESTROOM RENOVATION



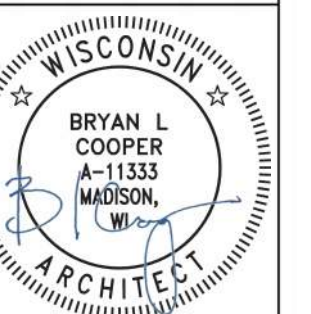
3 SIDING PROFILE  
 A3 SCALE: FULL SIZE



1 WEST ELEVATION  
 A3 SCALE: 1/4" = 1'-0"



2 NORTHWEST ELEVATION  
 A3 SCALE: 1/4" = 1'-0"



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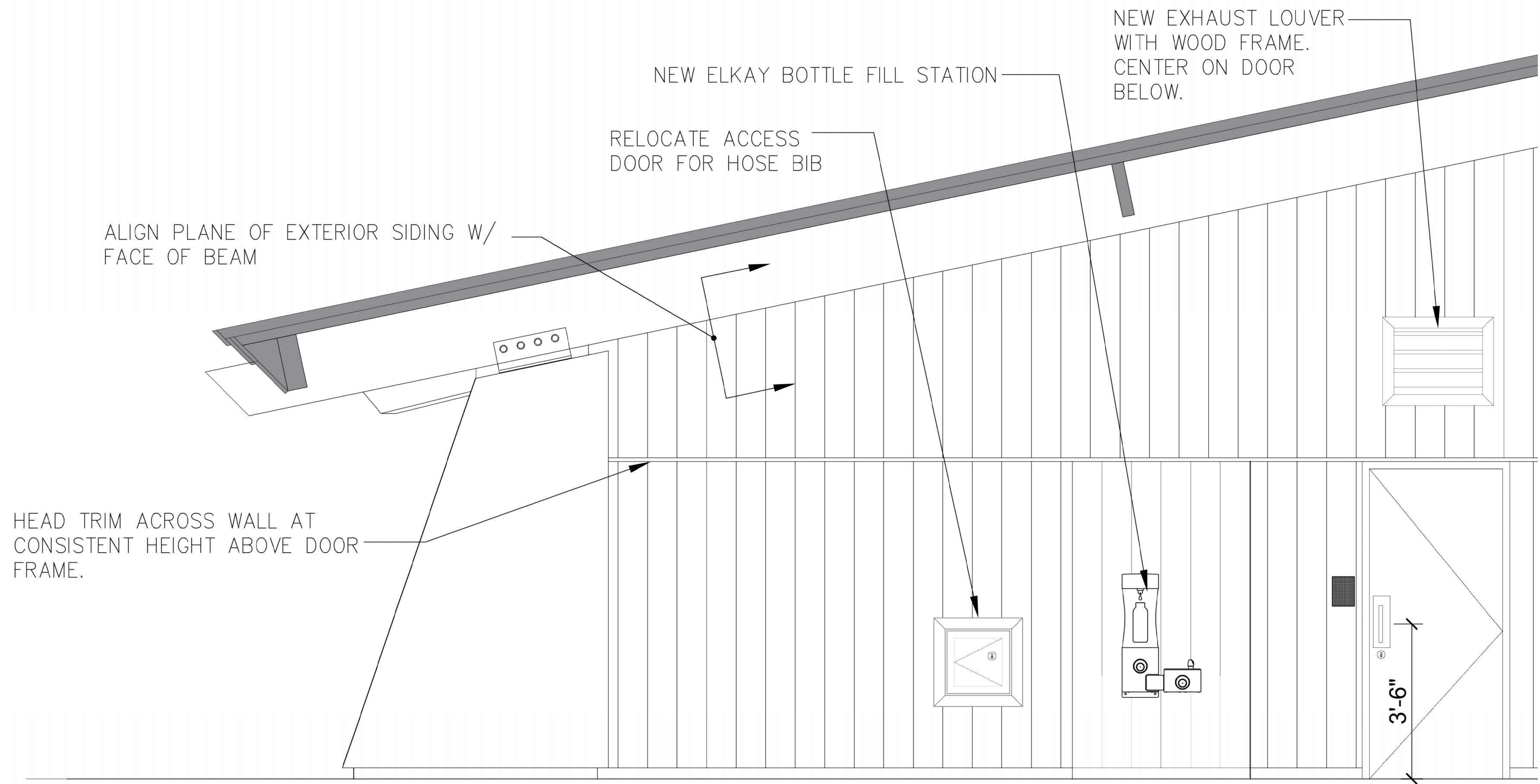
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A3

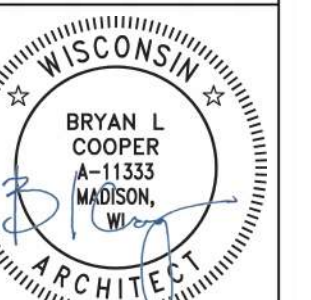


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RENNEBOHM PARK SHELTER RESTROOM RENOVATION



**I**  
**A4** PROPOSED SOUTH WEST ELEVATION  
 SCALE: 3/4" = 1'-0"



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SHT  
 A4



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RENNEBOHM PARK SHELTER RESTROOM RENOVATION

2"x6"x 1/4" BENT PL X 4" LONG AT 48" O.C. MAX. FASTENED TO EXISTING WOOD BEAM

1/2" DIA ADHESIVE ANCHOR IN VERTICALLY SLOTTED HOLE, EMBED 4". FINGER TIGHTEN NUT TO ALLOW FOR BEAM DEFLECTION.

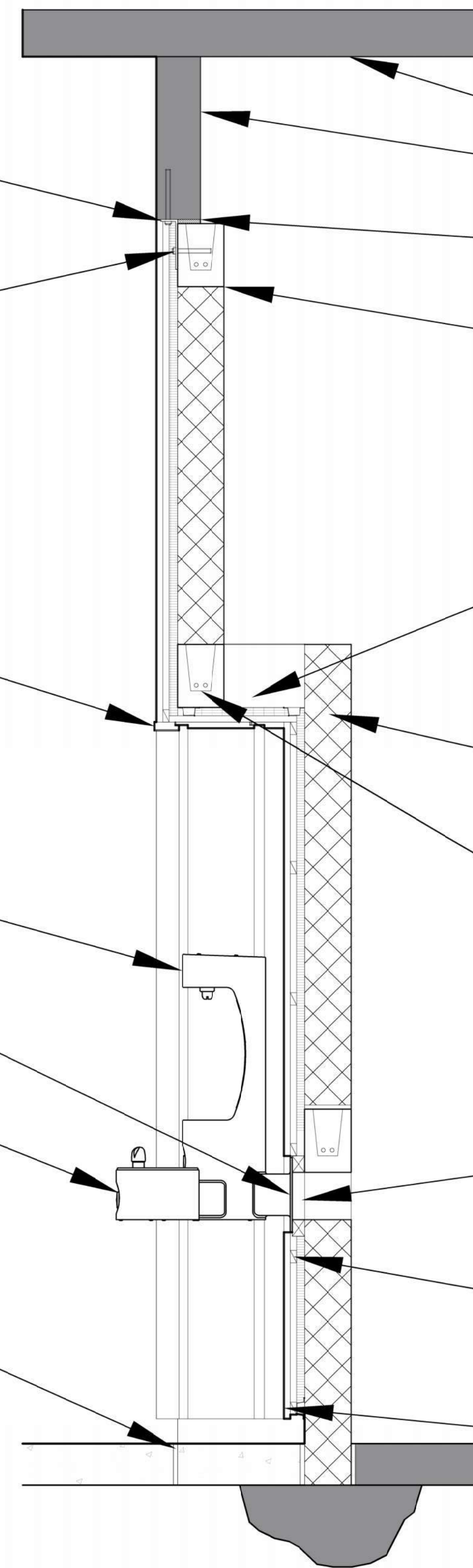
CONTINUOUS HEAD TRIM

BOTTLE FILLER

METAL BACK PLATE

WATER FOUNTAIN

EXPANSION MATERIAL AT PERIMETER OF NEW SLAB PATCH



EXISTING CEILING BOARDS  
 EXISTING BEAM

1/2" EXPANSION MATERIAL

CONTINUOUSLY SLOPED OR STEPPED MASONRY BOND BEAM AT TOP OF WALL

BLOCKING AS NEEDED FOR CEILING

6" CMU WALL

MASONRY BOND BEAM

1" VERTICAL HAT CHANNELS AND POLYISO INSULATION PANEL INFILL

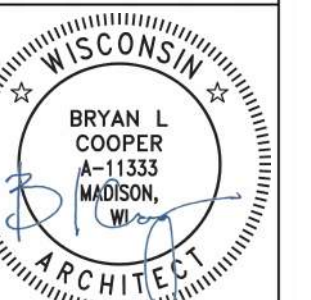
FILTER ACCESS PANEL. PROVIDE 2X BLOCKING AT PERIMETER.

3/4" HORIZONTAL FURRING

3/4" VERTICAL SIDING

NOTE: PROVIDE TAMPER PROOF BOLT INSTALLATION AT BOTTLE FILL.

1 WALL SECTION  
 A5 SCALE: 1" = 1'-0"



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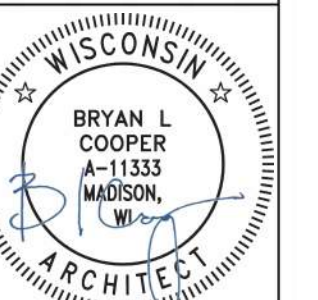
SHT

A5



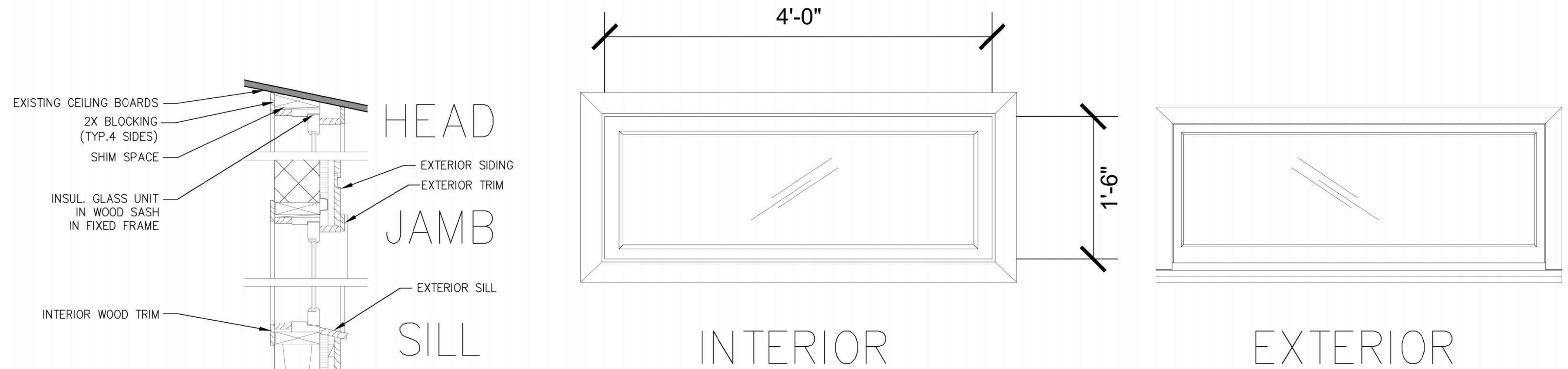
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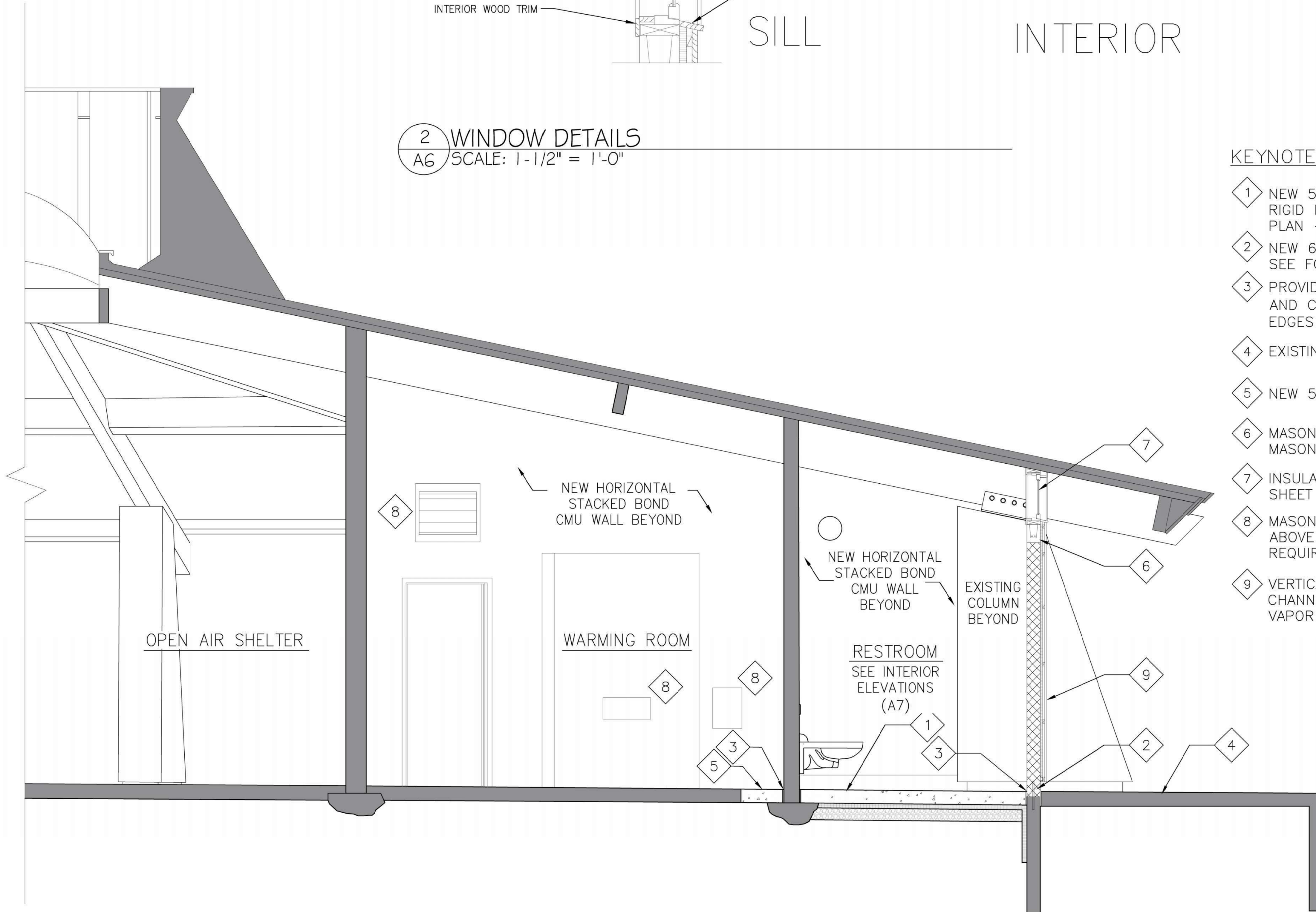
SHT A6



2 WINDOW DETAILS  
 A6 SCALE: 1-1/2" = 1'-0"

KEYNOTES

- 1 NEW 5" CONCRETE SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 2" RIGID INSUL ON COMPACTED CLEAN GRANULAR FILL, SEE FOUNDATION PLAN - SHEET A0 AND G1 GENERAL NOTES.
- 2 NEW 6" CMU WALL BEARING ON EXISTING FOUNDATION WALL, SEE FOUNDATION PLAN - SHEET A0.
- 3 PROVIDE 1/2" EXPANSION MATERIAL BETWEEN EDGE OF NEW SLAB AND CMU WALL. HOLD DOWN 1/2" AND CAULK. TYPICAL AT 4 EDGES OF NEW SLAB IN EACH AREA.
- 4 EXISTING SLAB TO REMAIN
- 5 NEW 5" CONCRETE SLAB ON GRADE PATCH
- 6 MASONRY BOND BEAM AT TOP OF WALL. REFER TO CONCRETE MASONRY NOTES ON SHEET G1
- 7 INSULATED PANE FIXED WINDOW WITH PRIVACY FILM. SEE DETAILS ON SHEET A5.
- 8 MASONRY OPENING FOR ACCESS PANEL OR LOUVER WITH BOND BEAM ABOVE. COORDINATE LOCATION OF ACCESS PANEL WITH BOTTLE FILL REQUIREMENTS AND HOSE BIBB. LOUVER CENTERED ON DOOR WIDTH.
- 9 VERTICAL WOOD SIDING ON HORIZ FURRING ON VERTICAL METAL HAT CHANNELS WITH POLYISO INSULATION PANELS ON SPRAY APPLIED VAPOR BARRIER ON CMU WALL.

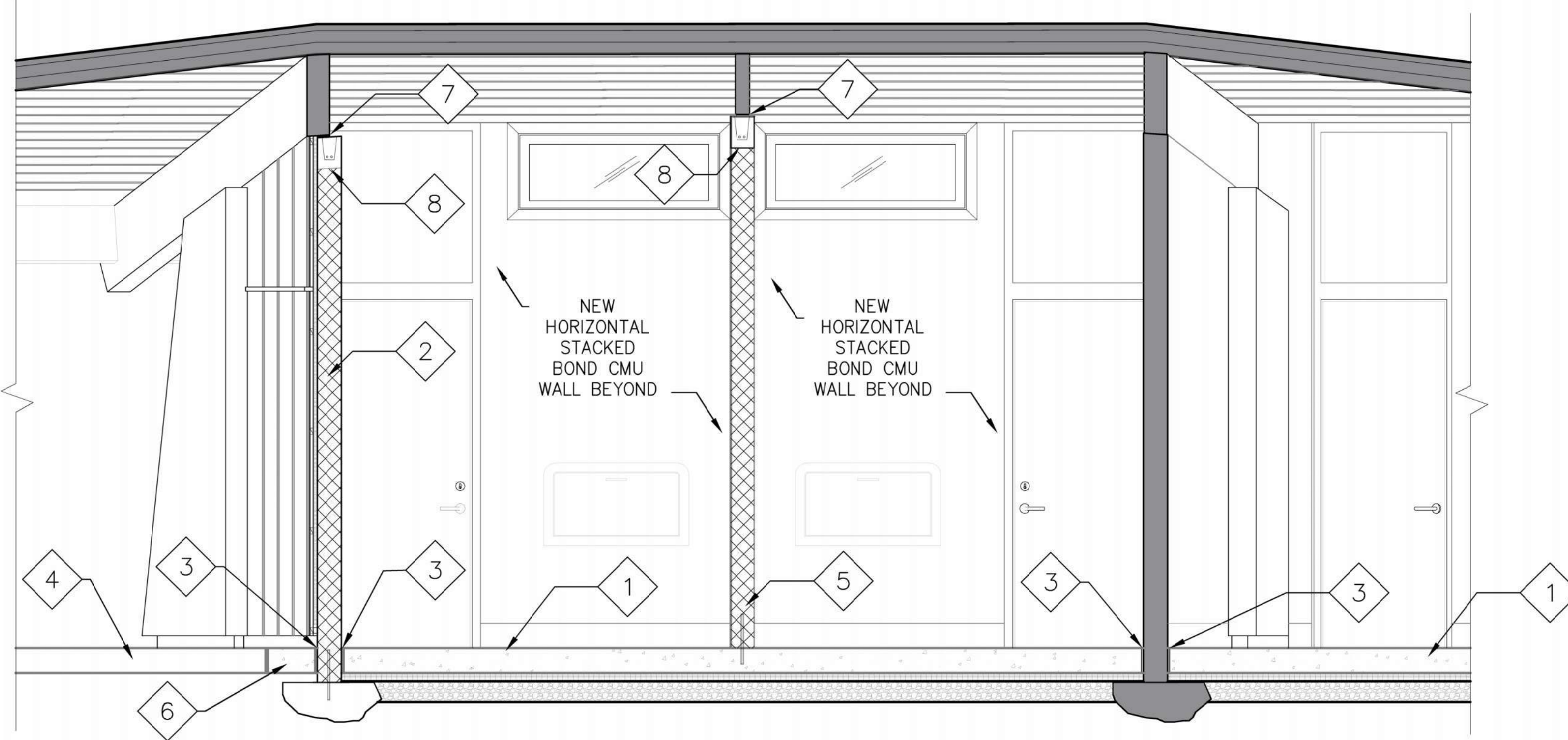


1 BUILDING SECTION  
 A6 SCALE: 1/2" = 1'-0"



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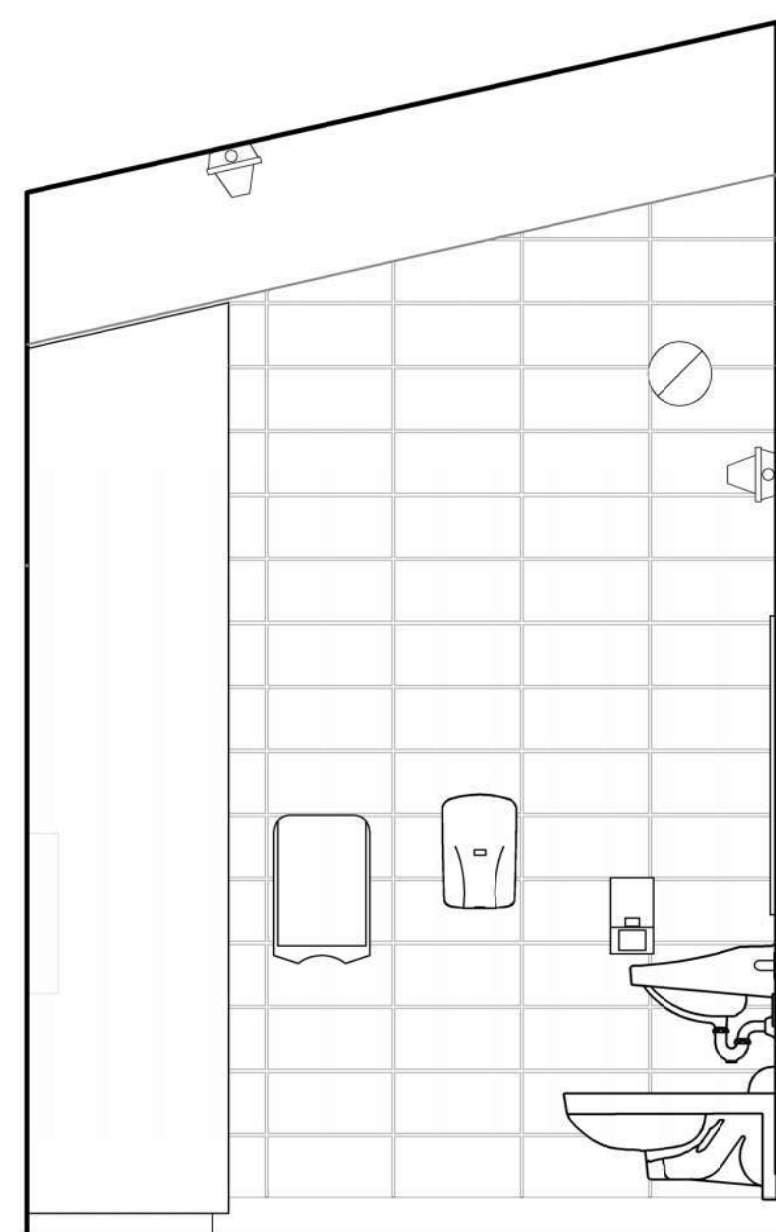
**1** BUILDING SECTION  
 A7 SCALE: 1/2" = 1'-0"

KEYNOTES

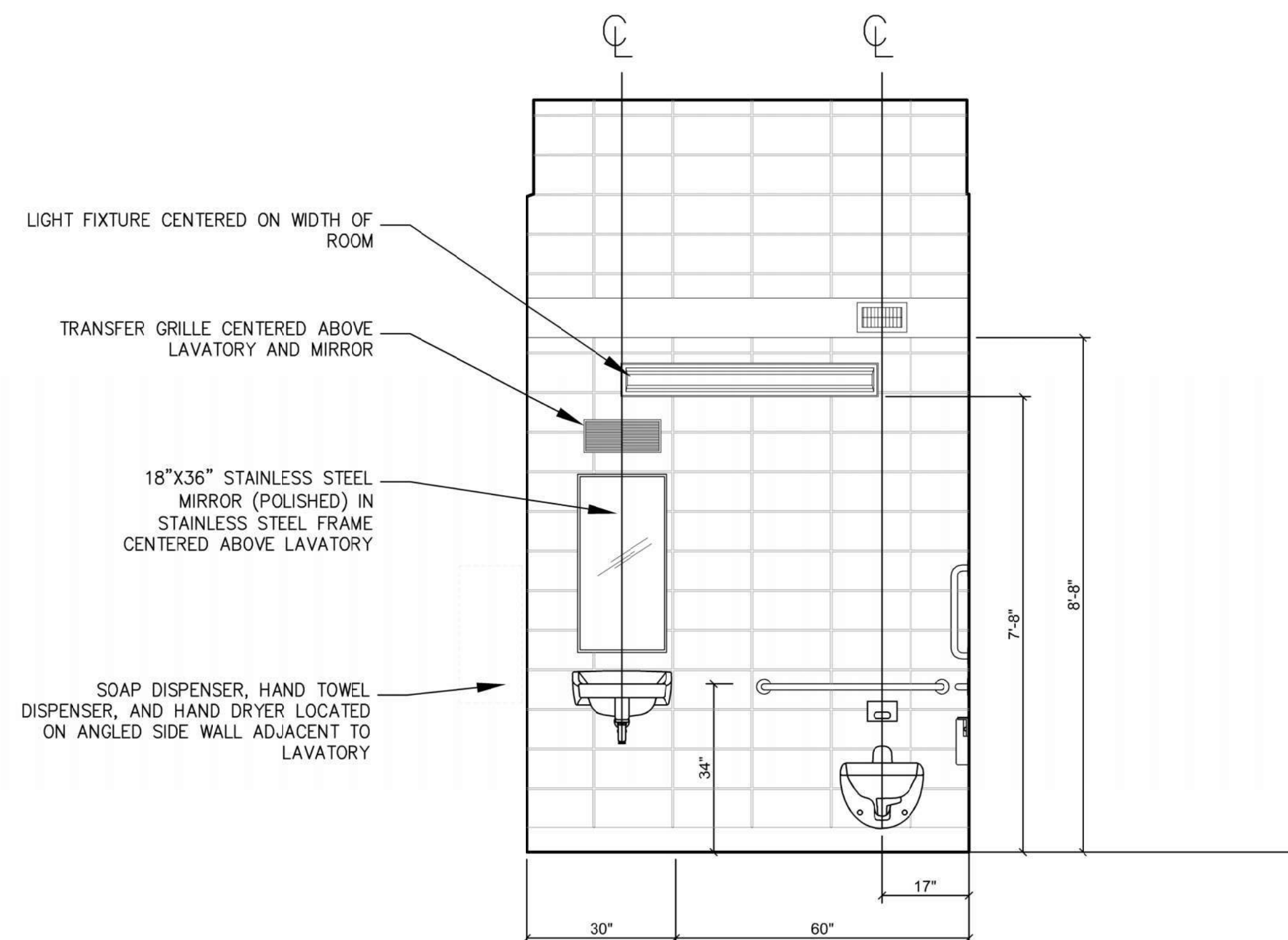
- 1 NEW 5" CONCRETE SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 2" RIGID INSUL ON COMPACTED CLEAN GRANULAR FILL—SEE A0.
- 2 NEW 6" CMU WALL BEARING ON NEW AND EXISTING TRENCH FOOTING — SEE A0.
- 3 PROVIDE 1/2" EXPANSION MATERIAL BETWEEN EDGE OF NEW SLAB AND CMU WALL. HOLD DOWN 1/2" AND CAULK. TYPICAL AT 4 EDGES OF NEW SLAB IN EACH RESTROOM AREA.
- 4 EXISTING SLAB TO REMAIN.
- 5 NEW 6" CMU WALL BEARING ON NEW SLAB ON GRADE — SEE A0.
- 6 NEW 5" SLAB ON GRADE. MATCH EXISTING ADJACENT SLAB COLOR AND TEXTURE.
- 7 1/2" EXPANSION MATERIAL.
- 8 CONTINUOUSLY SLOPED OR STEPPED MASONRY BOND BEAM AT TOP OF WALL.

GENERAL NOTES:

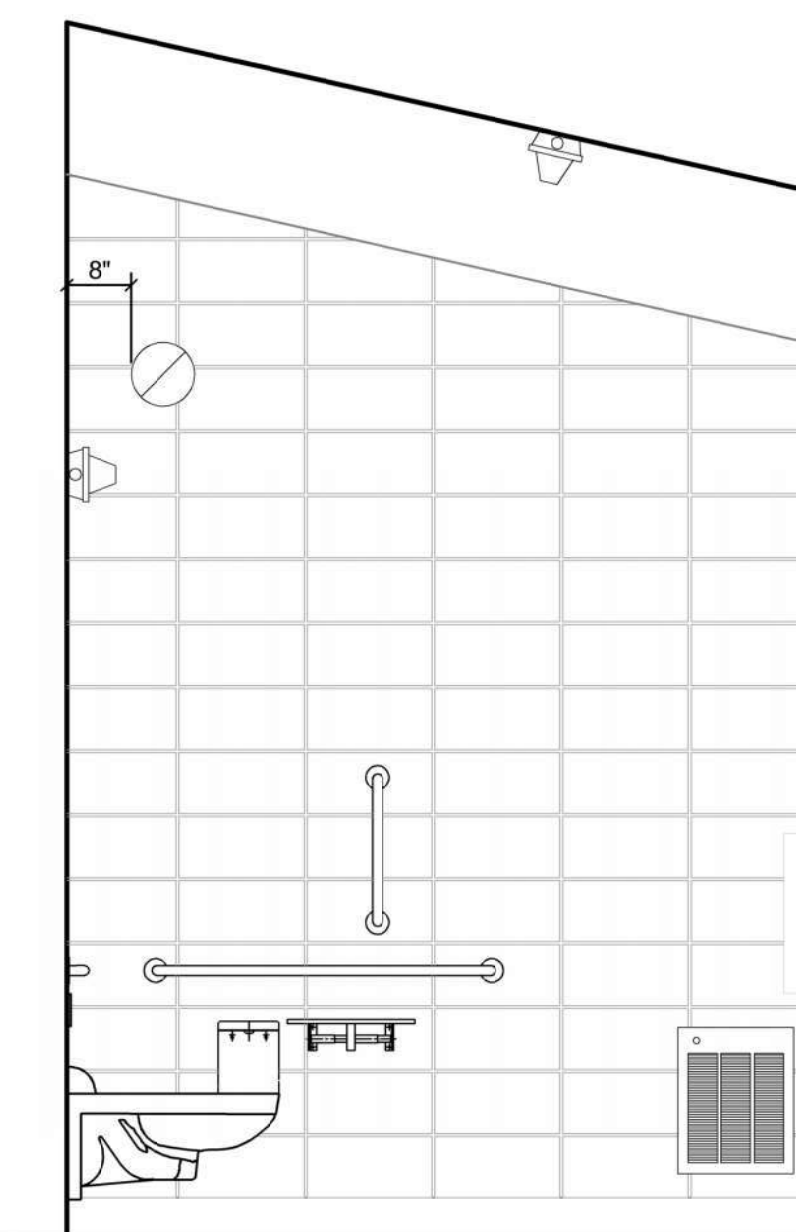
- 1. HORIZONTAL STACKED BOND SHOWN FOR MATERIAL REPRESENTATION PURPOSES ONLY.



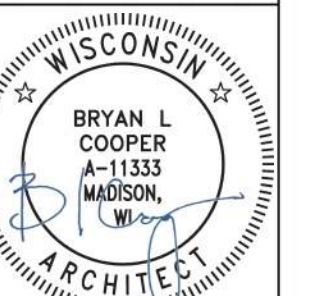
**2** RESTROOM ELEVATION  
 A7 SCALE: 1/2" = 1'-0"



**3** RESTROOM ELEVATION  
 A7 SCALE: 1/2" = 1'-0"



**4** RESTROOM ELEVATION  
 A7 SCALE: 1/2" = 1'-0"



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